

# SUMMARY

5600 148th Lane Northwest, Ramsey, MN February 21, 2020

Report No. 1271

[www.inspect-itofandover.com](http://www.inspect-itofandover.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Roofing

### SLOPED ROOFING \ Asphalt shingles

**Condition:** • [Vulnerable to ice damming](#)

The area at the back of the garage is vulnerable to ice dam's. Be sure to keep snow removed from the roof line in this area.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Roof

**Task:** Service

**Time:** When necessary

## Exterior

### ROOF DRAINAGE \ Gutters

**Condition:** • [Missing](#)

Installation of gutters and downspouts is always recommended to keep rain water away from the building foundation.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Roof

**Task:** Provide

**Time:** Discretionary

### WALLS \ Vinyl siding

**Condition:** • [Buckled or wavy](#)

The vinyl siding on the west side of the garage has buckled.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Exterior Wall

**Task:** Repair or replace

**Time:** Discretionary

## Heating

### FURNACE \ Cabinet

**Condition:** • [Rust](#)

There is rust inside the furnace cabinet. It appears to be coming from an overflowing condensate pan. Continued monitoring is recommended and making sure the condensate drain line is clear and free flowing.

**Implication(s):** Material deterioration | Reduced system life expectancy

**Location:** Basement Utility Room

**Task:** Service

**Time:** Immediate

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## GAS FURNACE \ Gas burners

**Condition:** • [Poor flame color or pattern](#)

The furnace is showing some poor flame color and distortion. It is recommended that the furnace be checked by a qualified HVAC technician. Make sure to have the furnace serviced annually.

**Implication(s):** Equipment not operating properly | Increased heating costs | Reduced comfort

**Location:** Basement Utility Room

**Task:** Service

**Time:** Immediate

## Cooling & Heat Pump

### AIR CONDITIONING \ Life expectancy

**Condition:** • [Old](#)

The air conditioner uses R-22 freon. After the year 2020, this type of freon will no longer be produced. Replacement of the air conditioner should be anticipated sometime in the future.

**Implication(s):** Equipment failure | Reduced comfort

**Location:** Utility Room

**Task:** Service

**Time:** Regular maintenance

### AIR CONDITIONING \ Compressor

**Condition:** • [Out of level](#)

The air conditioner should be brought back to level to provide optimum efficiency.

**Implication(s):** Reduced system life expectancy | Damage to equipment

**Location:** Exterior

**Task:** Improve

**Time:** Immediate

### AIR CONDITIONING \ Refrigerant lines

**Condition:** • [Insulation - missing](#)

The insulation for the refrigeration line to the Air Conditioner has deteriorated and should be replaced

**Implication(s):** Reduced system life expectancy | Increased cooling costs | Reduced comfort

**Location:** Exterior

**Task:** Improve

**Time:** Immediate

## Insulation and Ventilation

### ATTIC/ROOF \ Hatch/Door

**Condition:** • [Not weatherstripped](#)

There is air leakage into the scuttle area of the attic. This should be sealed to prevent air leakage into the attic space.

**Implication(s):** Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs

**Location:** Attic

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**Task:** Improve  
**Time:** Immediate

## Plumbing

### WATER HEATER \ Tank

**Condition:** • [Rust](#)

The bottom of the water heater is showing starting to rust. Signs that it might be coming to the end of it's effective life.

**Implication(s):** System inoperative | No hot water

**Location:** Basement Utility Room

**Task:** Service

**Time:** Immediate

### WATER HEATER - GAS BURNER AND VENTING \ Gas burners

**Condition:** • [Dirt or soot](#)

The water heater has a build up of soot and the burner flame rolls out when igniting. Signs that the water heaters effective life might be coming to an end. Replacement should be anticipated.

**Implication(s):** Equipment not operating properly | Increased operating costs

**Location:** Basement Utility Room

**Task:** Service

**Time:** Immediate

## Interior

### WINDOWS \ Glass (glazing)

**Condition:** • [Excess condensation](#)

With the lower level bathroom having no exhaust fan, there is excessive condensation on the window causing rot to the frame.

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Basement Bathroom

**Task:** Improve

**Time:** Immediate

### GARAGE \ Vehicle door operators

**Condition:** • [Fails to auto reverse](#)

**Implication(s):** Physical injury

**Location:** Garage

**Task:** Correct

**Time:** Immediate

### APPLIANCES \ Dryer

**Condition:** • Make sure to clean the dryer vent twice annually.

Make sure to clean the dryer vent twice annually.

**Location:** Exterior Wall Laundry Area

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**Task:** Clean

**Time:** Regular maintenance

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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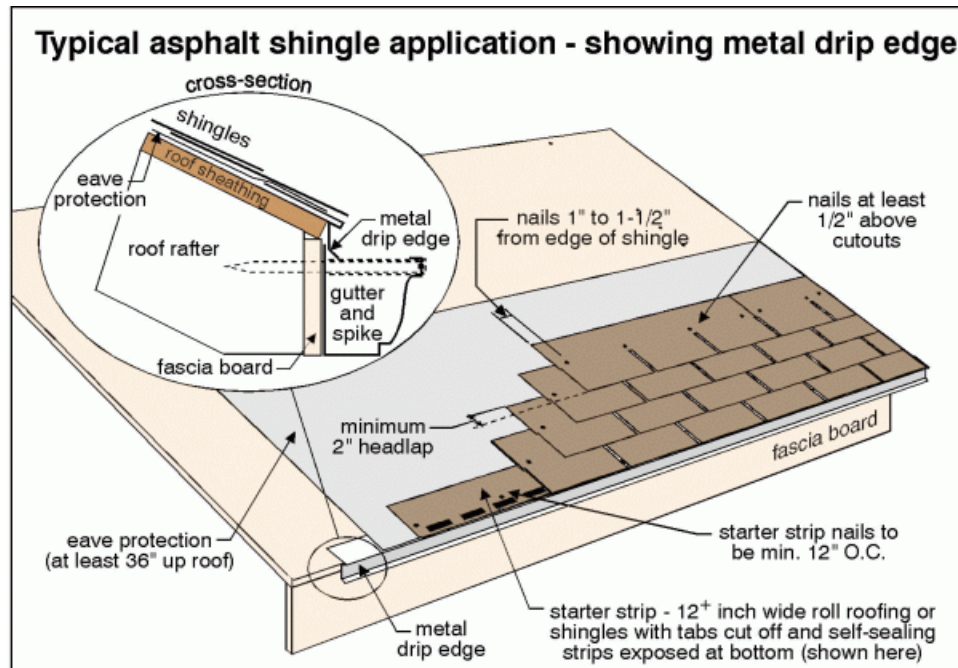
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## Description

The home is considered to face: • North

Sloped roofing material:

- Composition shingles



1. Composition shingles

Sloped roof flashing material: • Aluminum

Approximate age: • 3 years

Typical life expectancy: • 25-30 years

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## Limitations

**Roof inspection limited/prevented by:** • Snow/ice/frost

**Inspection performed:** • By walking on roof

**Age determined by:** • Visual inspection from roof surface

## Recommendations

### SLOPED ROOFING \ Asphalt shingles

#### 1. Condition: • Vulnerable to ice damming

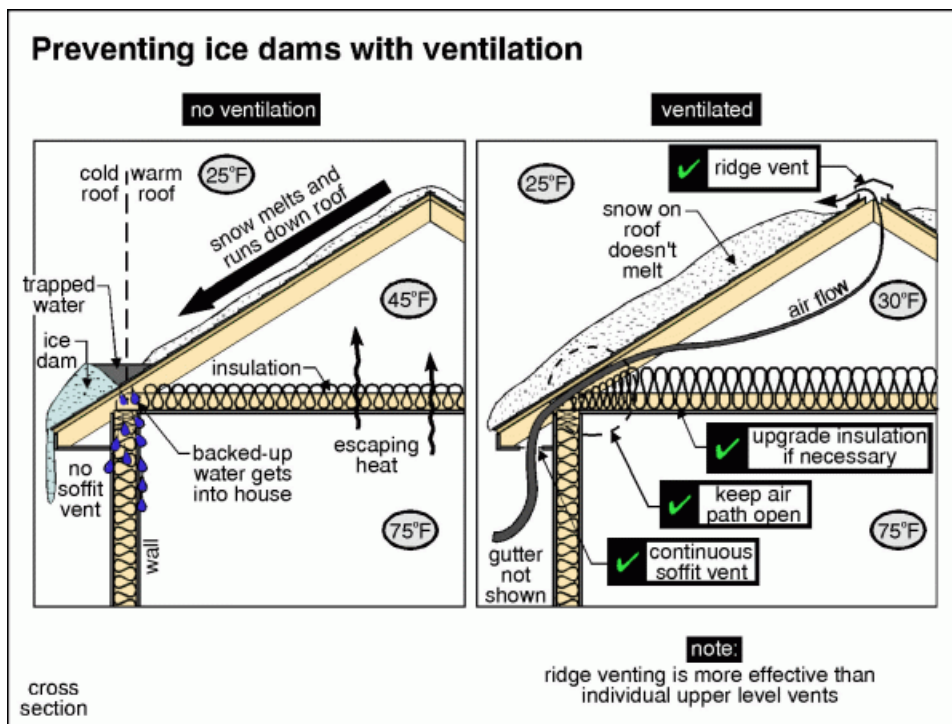
The area at the back of the garage is vulnerable to ice dam's. Be sure to keep snow removed from the roof line in this area.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Roof

**Task:** Service

**Time:** When necessary



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2. Vulnerable to ice damming



3. Vulnerable to ice damming



# EXTERIOR

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## Description

**Gutter & downspout material:** • No gutters or downspouts

**Gutter & downspout discharge:** • N/A

**Lot slope:** • [Away from building](#)

**Soffit (underside of eaves) and fascia (front edge of eaves):** • [Aluminum](#)

**Wall surfaces and trim:** • Brick

**Wall surfaces and trim:** • [Vinyl siding](#)

**Retaining wall:**

• [Other](#)

N/A

**Driveway:** • Blacktop

**Deck:** • Wood

**Fence:** • Metal

## Limitations

**Inspection limited/prevented by:** • Storage • New finishes/paint/trim • Storage in garage • Poor access under steps, deck, porch • Snow / ice / frost

**No or limited access to:** • Area below steps, deck, porches

**Exterior inspected from:** • Ground level

**Not included as part of a building inspection:** • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Fences and boundary walls • Outbuildings other than garages and carports

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

## Recommendations

### ROOF DRAINAGE \ Gutters

**2. Condition:** • [Missing](#)

Installation of gutters and downspouts is always recommended to keep rain water away from the building foundation.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Roof

**Task:** Provide

**Time:** Discretionary



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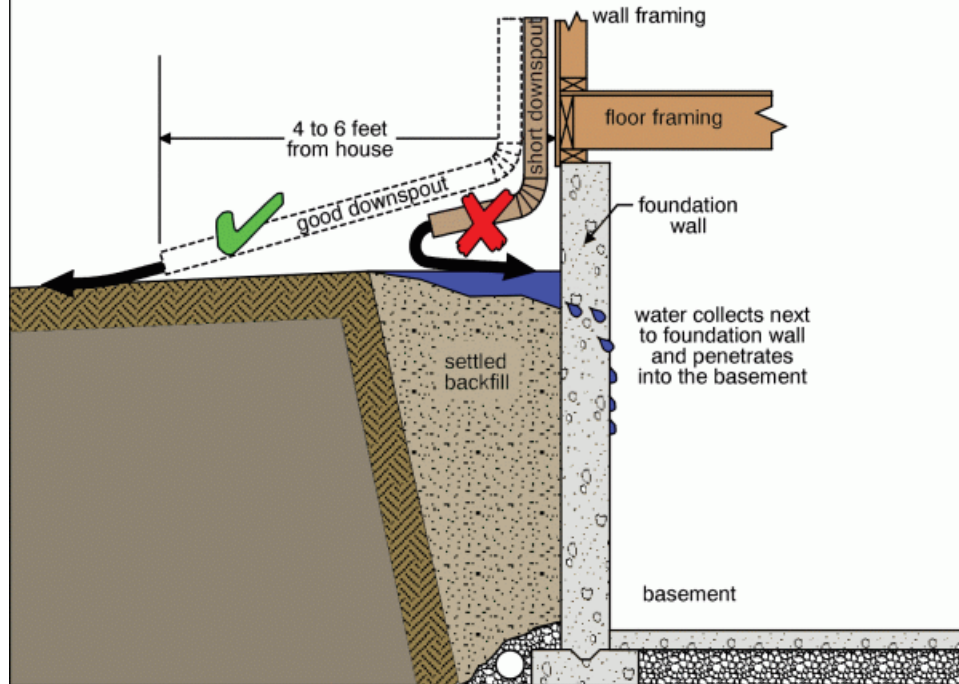
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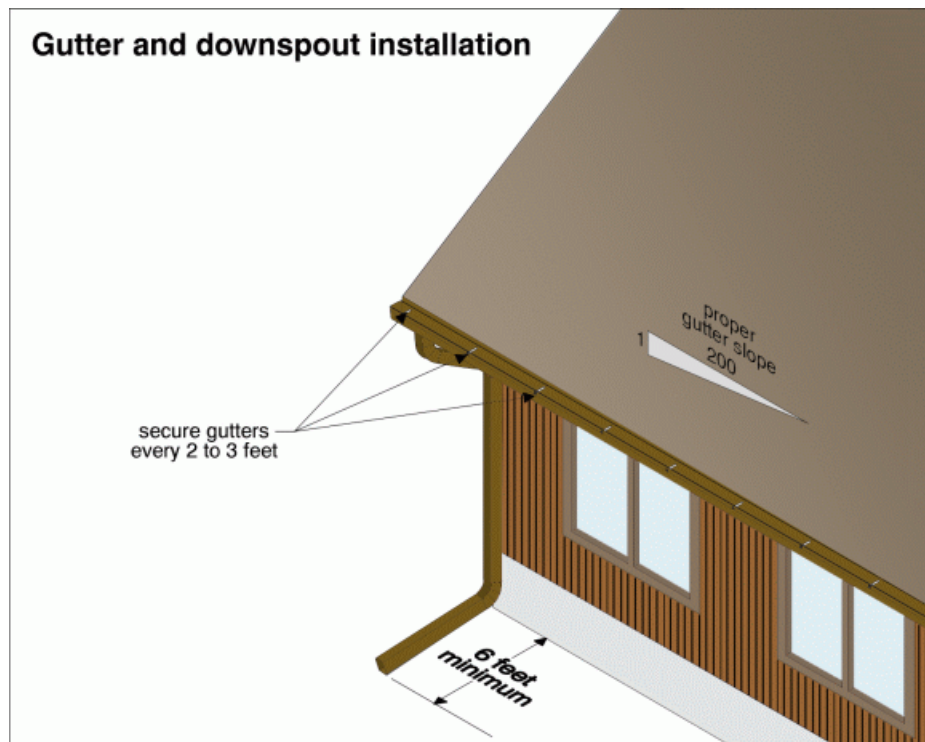
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## Downspout extension too short



## Gutter and downspout installation



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4. Missing

## WALLS \ Vinyl siding

### 3. Condition: • [Buckled or wavy](#)

The vinyl siding on the west side of the garage has buckled.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Exterior Wall

**Task:** Repair or replace

**Time:** Discretionary



5. Buckled or wavy

# STRUCTURE

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## Description

**TREC Foundation Performance Opinion:** • N/A

**Configuration:** • [Basement](#) • [Crawlspace](#)

**Foundation material:** • [Masonry block](#)

**Floor construction:** • [Joists](#)

**Exterior wall construction:** • [Wood frame](#)

**Roof and ceiling framing:** • Ceiling Joists

**Location of access to under-floor area:** • East

## Limitations

**Inspection limited/prevented by:** • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • New finishes/paint • Insulation

**Attic/roof space:** • Entered but access was limited

**Knee wall areas:** • N/A

**Crawlspace:** • Entered but access was limited

**Percent of foundation not visible:** • 95 %

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

## Description

### Service entrance cable and location:

- [Underground aluminum](#)



6. *Underground aluminum*

Service size: • [150 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [150 Amps](#)

Main disconnect/service box type and location:

- [Breakers - basement](#)



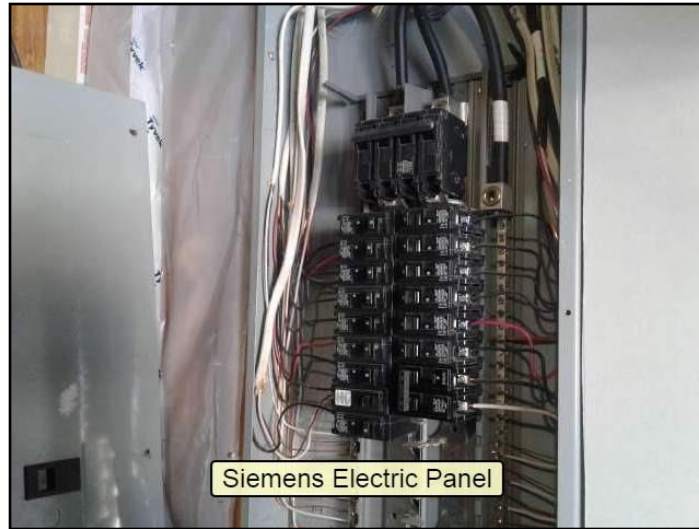
7. *Breakers - basement*

- All overcurrent devices have been inspected visually.

System grounding material and type: • [Copper - water pipe and ground rod](#)

Electrical panel manufacturers:

- Siemens



8. Siemens

**Distribution wire (conductor) material and type:** • [Copper - non-metallic sheathed](#)

**Type and number of outlets (receptacles):** • [Grounded - typical](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • It is recommended that GFCI Outlets are used wherever there is water present. The kitchen, bathroom, laundry room, garage and exterior.

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • GFCIs present • [GFCI - bathroom](#) • [GFCI - kitchen](#)

**Smoke alarms (detectors):** • There should be a smoke detector on each level of the home. In addition, one in each bedroom.

**Smoke alarms (detectors):** • [Present](#)

**Carbon monoxide (CO) alarms (detectors):** • There should be a CO2 detector on each level of the home.

**Carbon monoxide (CO) alarms (detectors):** • Present

## Limitations

**Inspection limited/prevented by:** • Restricted access • Storage • Insulation

**System ground:** • Quality of ground not determined

**Circuit labels:** • The accuracy of the circuit index (labels) was not verified.

# HEATING

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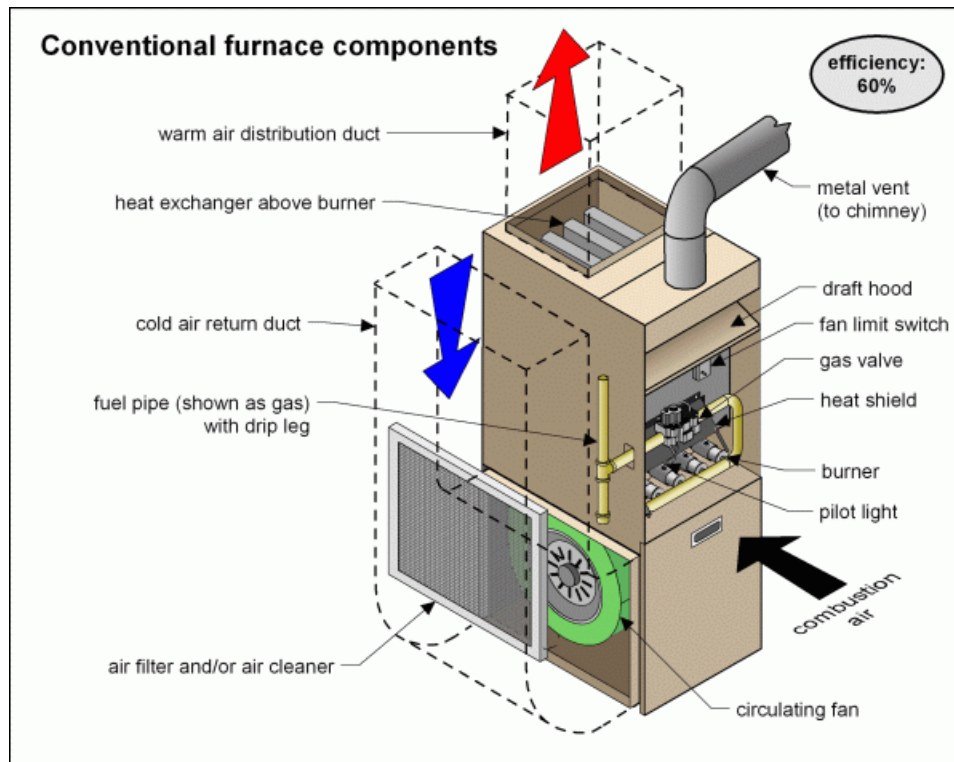
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## Description

**General:** • [I highly recommend enrolling in the Home Service Plus program provided by the utility company for maintenance and repairs for all mechanical appliances for the home:](#)  
<https://www.centerpointenergy.com/en-us/home-service-plus/>

### System type:

- [Furnace](#)



**Fuel/energy source:** • [Gas](#)

### Furnace manufacturer:

- Armstrong Air-ease

Model number: GUJ075D10-1B Serial number: 8495H45429



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9. Armstrong Air-ease

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [75,000 BTU/hr](#)

Efficiency: • [Conventional](#)

Exhaust venting method: • [Natural draft](#)

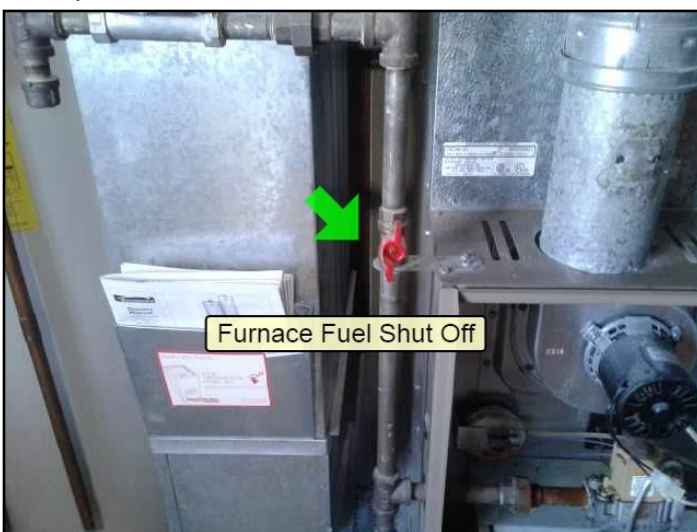
Combustion air source: • Outside

Approximate age: • [25 years](#)

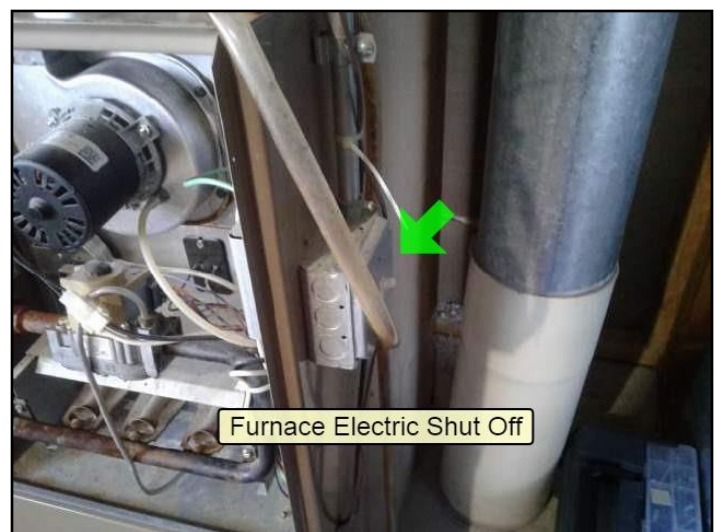
Typical life expectancy: • Furnace (conventional or mid-efficiency) 18 to 25 years

Main fuel shut off at:

• Utility room



10. Utility room



11. Utility room



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**Failure probability:** • [Medium](#)

**Oil tank type/age:** • N/A

**Propane tank type/age:** • N/A

**Supply temperature:** • 105°

**Return temperature:** • 70°

**Temperature difference:** • 35°

**Air filter:**

- Disposable
- 16" x 20"
- 1" thick

Make sure to change the 16x20x1 furnace filter monthly.

**Exhaust pipe (vent connector):** • Type B

**Auxiliary heat:** • N/A

**Fireplace/stove:** • N/A

**Chimney/vent:** • N/A

**Chimney liner:** • N/A

**Humidifiers:** • N/A

**Mechanical ventilation system for building:** • N/A

**Condensate system:**

- Discharges into floor drain

Make sure to keep the condensate drain lines clear and free flowing to help prevent any water damage to the interior of the furnace cabinet.

## Limitations

**Inspection prevented/limited by:** • Vent connectors, chimney interiors and flues are not inspected

**Safety devices:** • Not tested as part of a building inspection

**Heat loss calculations:** • Not done as part of a building inspection

**Fireplace/wood stove:** • N/A

**Heat exchanger:** • Inspection of the Heat Exchanger is not part of the Home Inspection

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

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## Recommendations

### FURNACE \ Cabinet

#### 4. Condition: • [Rust](#)

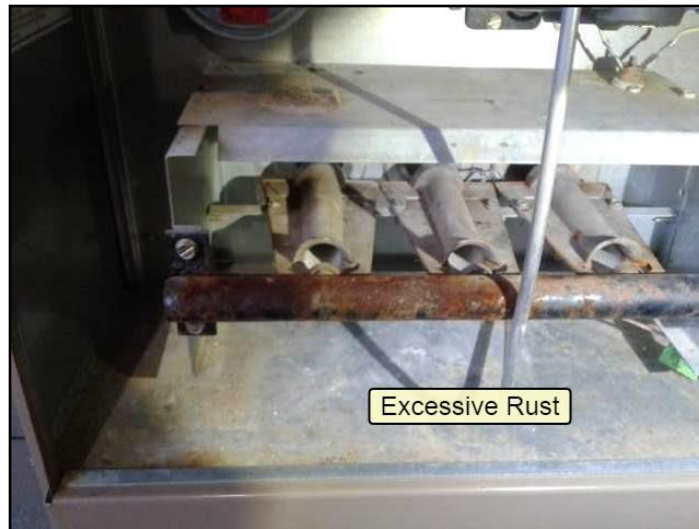
There is rust inside the furnace cabinet. It appears to be coming from an overflowing condensate pan. Continued monitoring is recommended and making sure the condensate drain line is clear and free flowing.

**Implication(s):** Material deterioration | Reduced system life expectancy

**Location:** Basement Utility Room

**Task:** Service

**Time:** Immediate



12. Rust

### GAS FURNACE \ Gas burners

#### 5. Condition: • [Poor flame color or pattern](#)

The furnace is showing some poor flame color and distortion. It is recommended that the furnace be checked by a qualified HVAC technician. Make sure to have the furnace serviced annually.

**Implication(s):** Equipment not operating properly | Increased heating costs | Reduced comfort

**Location:** Basement Utility Room

**Task:** Service

**Time:** Immediate

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**13.** *Poor flame color or pattern*

# COOLING & HEAT PUMP

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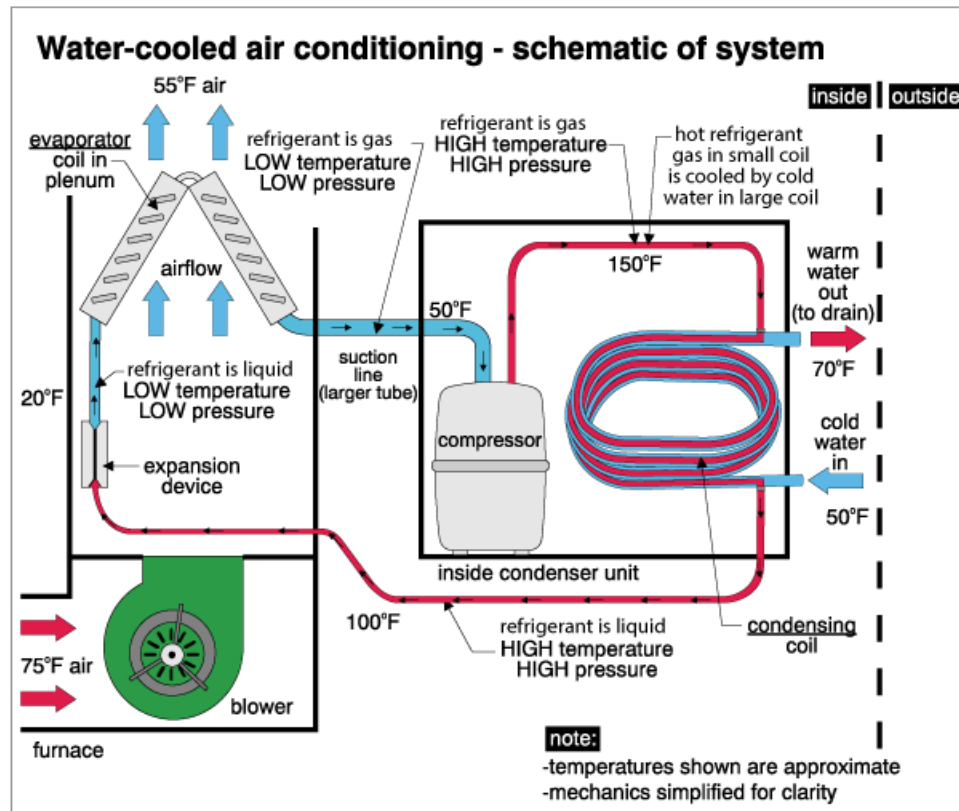
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## Description

Air conditioning type:

- [Air cooled](#)



Manufacturer:

- Armstrong

Model number: SCU10A24A-2A Serial number: 8495E24316



14. Armstrong

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**Cooling capacity:** • [2 Tons](#)

**Compressor approximate age:** • 25 years

**Failure probability:** • [High](#)

## Air filter:

- Disposable
- 16" x 20"
- 1" thick

Make sure to change the 16 x 20 x 1 furnace filter monthly.

## Refrigerant type:

- R-22

With the R-22 "Freon" no longer being produced for use in Air Conditioners, it will become increasingly more difficult to obtain for older units. Replacement should be anticipated sometime in the future.

## Condensate system:

- Discharges into floor drain

Make sure to keep the condensate drain line clear and free flowing.

## Limitations

**Inspection limited/prevented by:** • Low outdoor temperature

**Not part of a home inspection:** • Home inspectors cannot typically access or inspect the indoor coil

## Recommendations

### AIR CONDITIONING \ Life expectancy

**6. Condition:** • [Old](#)

The air conditioner uses R-22 freon. After the year 2020, this type of freon will no longer be produced. Replacement of the air conditioner should be anticipated sometime in the future.

**Implication(s):** Equipment failure | Reduced comfort

**Location:** Utility Room

**Task:** Service

**Time:** Regular maintenance

### AIR CONDITIONING \ Compressor

**7. Condition:** • [Out of level](#)

The air conditioner should be brought back to level to provide optimum efficiency.

**Implication(s):** Reduced system life expectancy | Damage to equipment

**Location:** Exterior

**Task:** Improve

**Time:** Immediate

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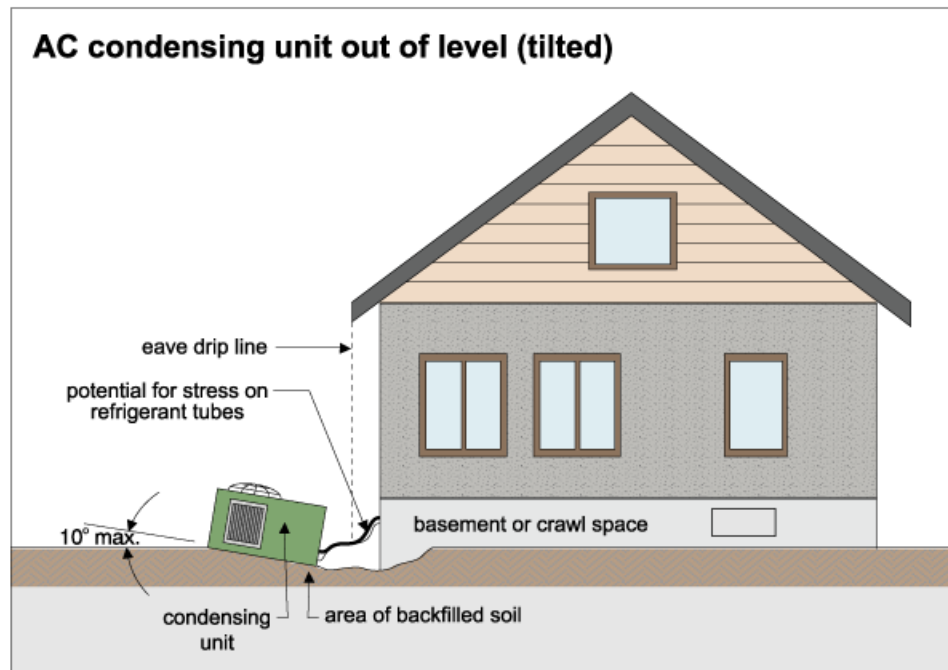
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## AIR CONDITIONING \ Refrigerant lines

### 8. Condition: • [Insulation - missing](#)

The insulation for the refrigeration line to the Air Conditioner has deteriorated and should be replaced

**Implication(s):** Reduced system life expectancy | Increased cooling costs | Reduced comfort

**Location:** Exterior

**Task:** Improve

**Time:** Immediate

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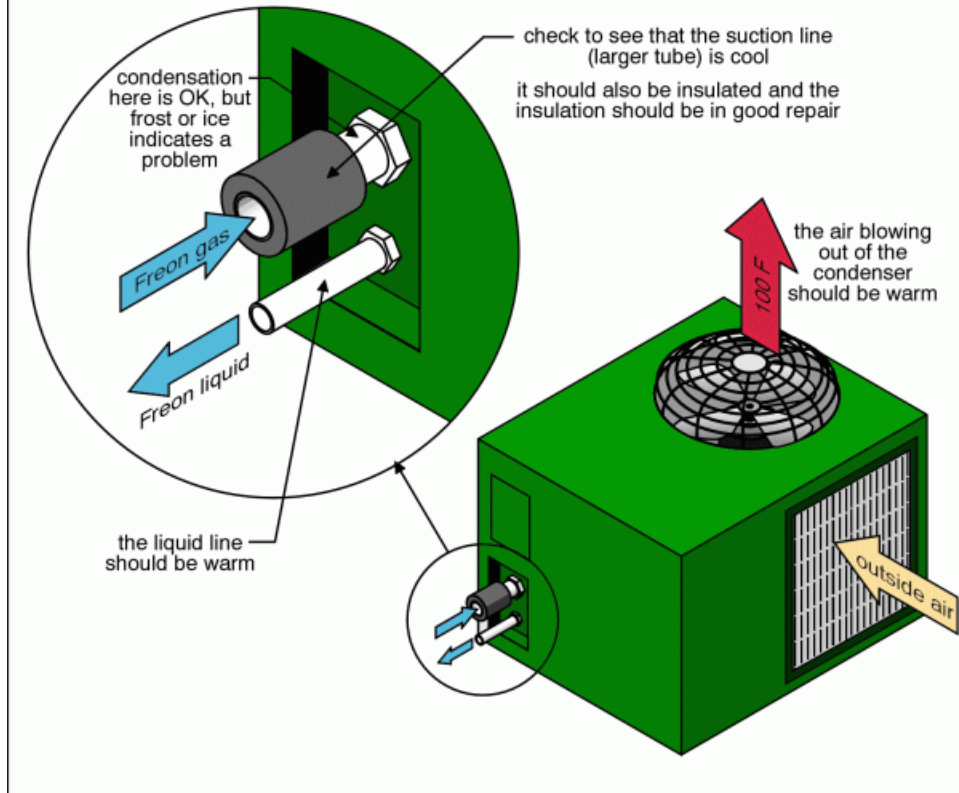
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## Inspecting the condenser unit





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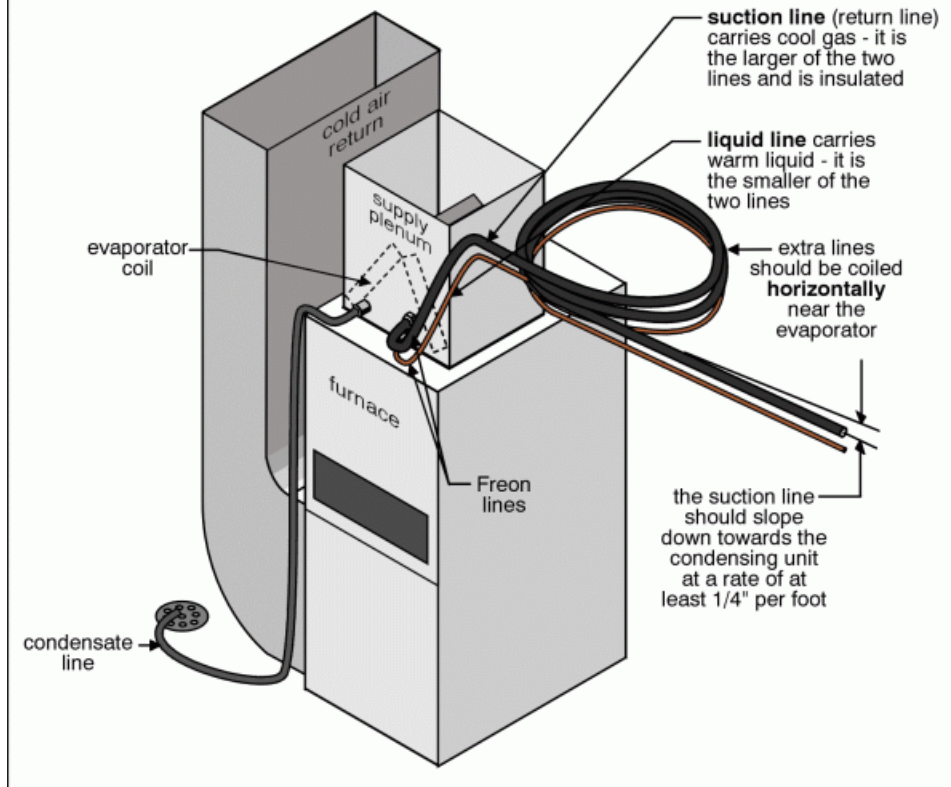
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## Refrigerant lines



15. Insulation - missing

# INSULATION AND VENTILATION

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## Description

**Attic/roof insulation material:**

- [Glass fiber](#)



16. *Glass fiber*

**Attic/roof insulation amount/value:** • R-50

**Attic/roof air/vapor barrier:** • [Not visible](#)

**Attic/roof ventilation:** • [Soffit vent](#) • [Ridge vent](#)

**Wall insulation material:** • [Glass fiber](#)

**Wall air/vapor barrier:** • Plastic

**Foundation wall insulation material:** • Not visible

**Foundation wall air/vapor barrier:** • Not determined

**Floor above basement/crawlspace insulation material:** • None found

**Floor above basement/crawlspace air/vapor barrier:** • Not determined

**Crawlspace ventilation:** • [None found](#)

**Mechanical ventilation system for building:** • N/A

## Limitations

**Inspection prevented by no access to:** • N/A

**Attic inspection performed:** • By entering attic, but access was limited

**Roof space inspection performed:** • By entering space, but access was limited

**Crawlspace inspection performed:** • By entering space, but access was limited

**Roof ventilation system performance:** • Not evaluated

**Air/vapor barrier system:** • Continuity not verified

**Mechanical ventilation effectiveness:** • Not verified

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

## Recommendations

### ATTIC/ROOF \ Hatch/Door

**9. Condition:** • [Not weatherstripped](#)

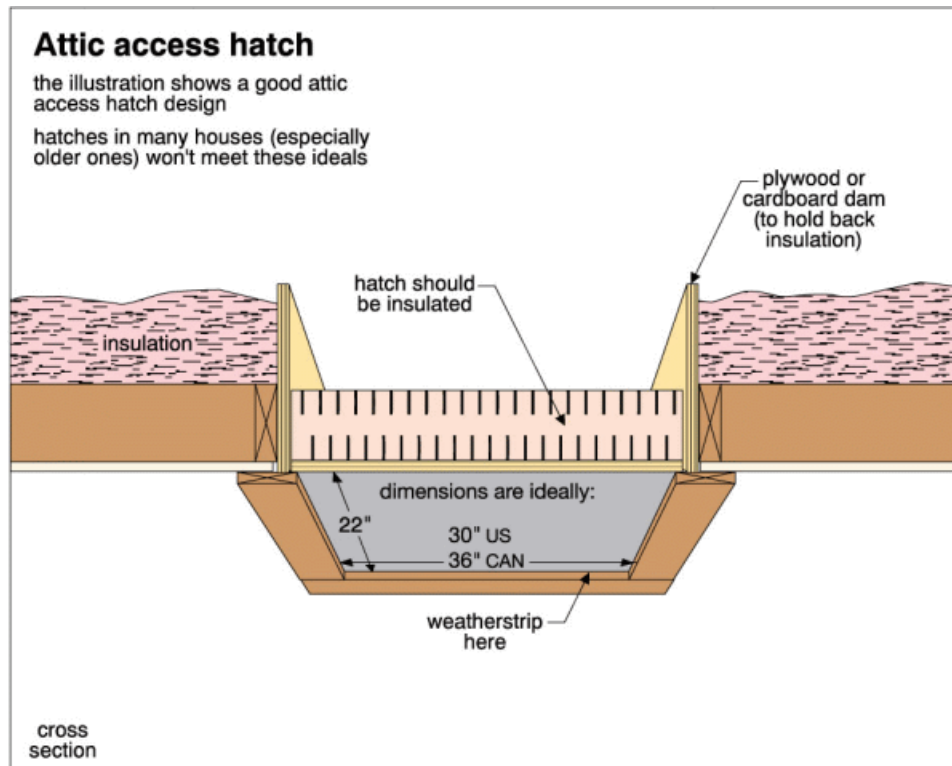
There is air leakage into the scuttle area of the attic. This should be sealed to prevent air leakage into the attic space.

**Implication(s):** Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs

**Location:** Attic

**Task:** Improve

**Time:** Immediate



# INSULATION AND VENTILATION

5600 148th Lane Northwest, Ramsey, MN February 21, 2020

Report No. 1271

[www.inspect-itofandover.com](http://www.inspect-itofandover.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



17. Not weatherstripped

## Description

**General:** • Any questions about Radon and it's effects can be answered here.

<https://www.health.state.mn.us/communities/environment/air/radon/mitigationsystem.html>

**Water supply source:** • Public

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:**

- Utility room



18. Utility room

**Water flow and pressure:** • [Functional](#)

**Water heater type:** • [Conventional](#)

**Water heater fuel/energy source:** • [Gas](#)

**Water heater exhaust venting method:** • Natural draft

**Water heater manufacturer:**

- Kenmore

*Model number:* 9210656000 *Serial number:* A02339553

# PLUMBING

5600 148th Lane Northwest, Ramsey, MN February 21, 2020

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SUMMARY

ROOFING

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19. Kenmore

Water heater tank capacity: • [40 gallons](#)

Water heater approximate age: • 18 years

Water heater typical life expectancy: • 10 to 15 years

Water heater failure probability: • [High](#)

Hot water temperature (Generally accepted safe temp. is 120° F): • 120° F

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [Plastic](#)

Pumps: • N/A

Water treatment system: • N/A

Gas piping: • Copper

Main fuel shut off valve at the:

- Utility room



# PLUMBING

5600 148th Lane Northwest, Ramsey, MN February 21, 2020

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SUMMARY

ROOFING

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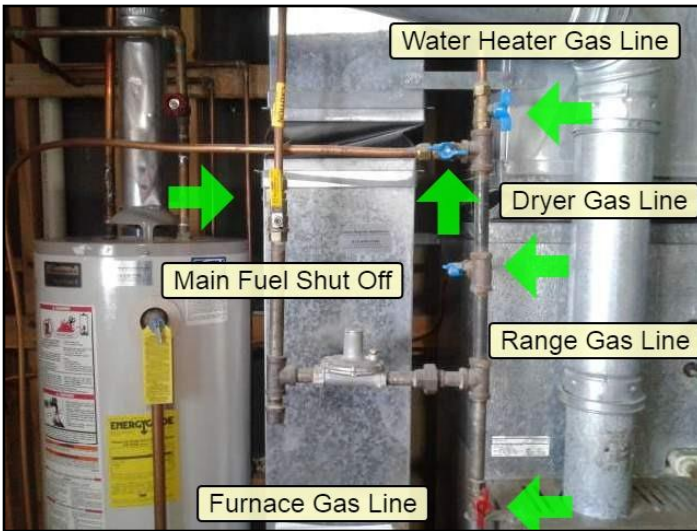
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



20. Utility room



21. Utility room

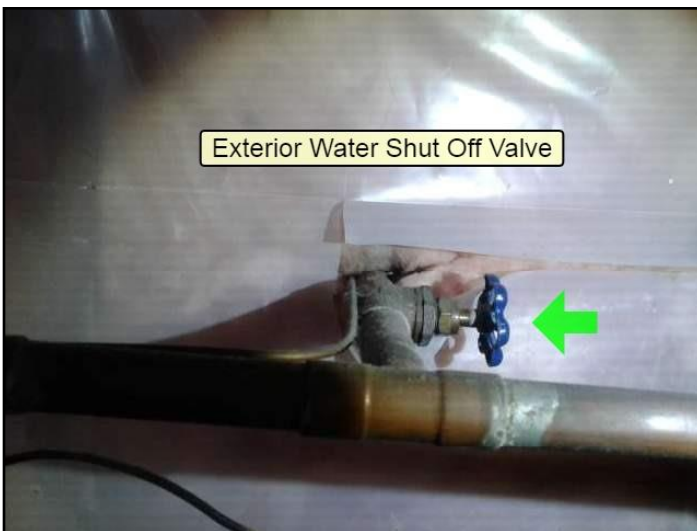
Location of fuel storage tank/system: • N/A

Backwater valve: • N/A

Exterior hose bibb (outdoor faucet):

• Present

Make sure to drain all exterior water spigots before the winter freeze.



22. Present



23. Present



## Limitations

**Items excluded from a building inspection:** • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

## Recommendations

### WATER HEATER \ Tank

**10. Condition:** • [Rust](#)

The bottom of the water heater is showing starting to rust. Signs that it might be coming to the end of its effective life.

**Implication(s):** System inoperative | No hot water

**Location:** Basement Utility Room

**Task:** Service

**Time:** Immediate



24. Rust

### WATER HEATER - GAS BURNER AND VENTING \ Gas burners

**11. Condition:** • [Dirt or soot](#)

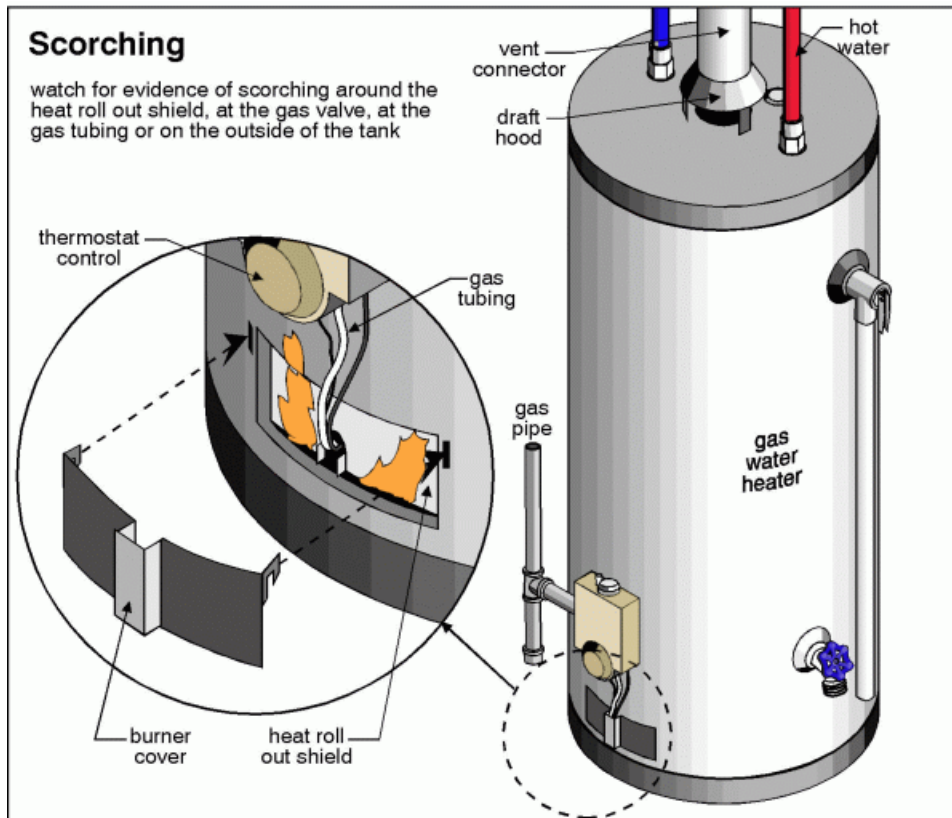
The water heater has a build up of soot and the burner flame rolls out when igniting. Signs that the water heaters effective life might be coming to an end. Replacement should be anticipated.

**Implication(s):** Equipment not operating properly | Increased operating costs

**Location:** Basement Utility Room

**Task:** Service

**Time:** Immediate



25. Dirt or soot

## Description

**Major floor finishes:** • [Carpet](#) • [Laminate](#)

**Major wall finishes:** • [Plaster/drywall](#)

**Major ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • A select number of windows were tested for functionality.

**Doors:** • Inspected

**Evidence of basement leakage:** • N/A

**Evidence of crawlspace leakage:** • N/A

**Appliances:** • All major appliances were inspected for functionality.

**Laundry facilities:** • The washer and dryer were tested for their functionality.

**Kitchen ventilation:** • Range hood

**Bathroom ventilation:** • Exhaust fan

**Laundry room ventilation:** • None

**Counters and cabinets:** • Inspected

**Stairs and railings:** • Inspected

## Limitations

**Inspection limited/prevented by:** • Carpet • Storage/furnishings • Storage/furnishings • New finishes/paint • Storage in closets and cabinets / cupboards

**Not included as part of a building inspection:** • Cosmetic issues • Decorative items • Aesthetics or quality of finishes • Vermin, including wood destroying organisms. • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Environmental issues including asbestos

**Cosmetics:** • No comment offered on cosmetic finishes

## Recommendations

### WINDOWS \ Glass (glazing)

**12. Condition:** • [Excess condensation](#)

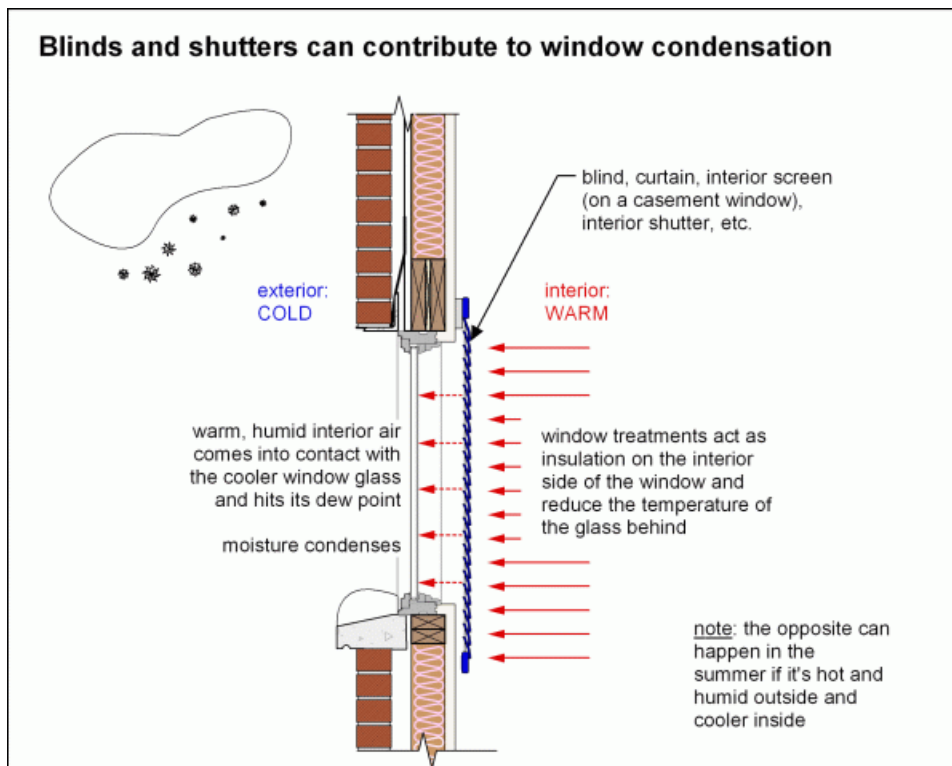
With the lower level bathroom having no exhaust fan, there is excessive condensation on the window causing rot to the frame.

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** Basement Bathroom

**Task:** Improve

**Time:** Immediate



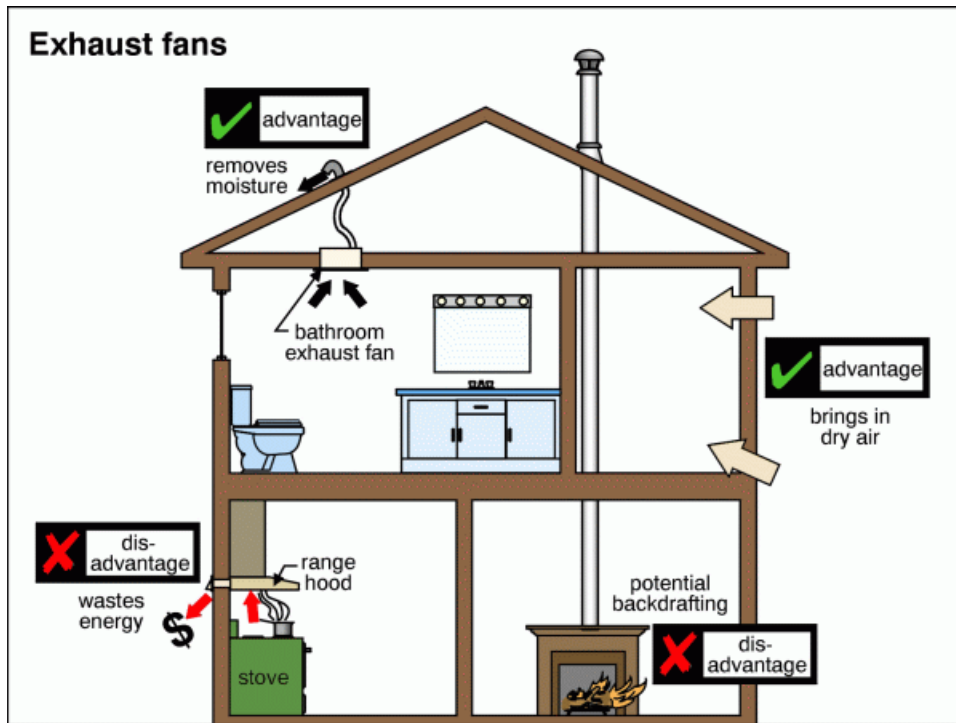
26. Excess condensation

## EXHAUST FANS \ General notes

### 13. Condition: • [Missing](#)

The lower level bathroom has no exhaust fan.

**Implication(s):** Chance of condensation damage to finishes and/or structure



## GARAGE \ Vehicle door operators

14. Condition: • [Fails to auto reverse](#)

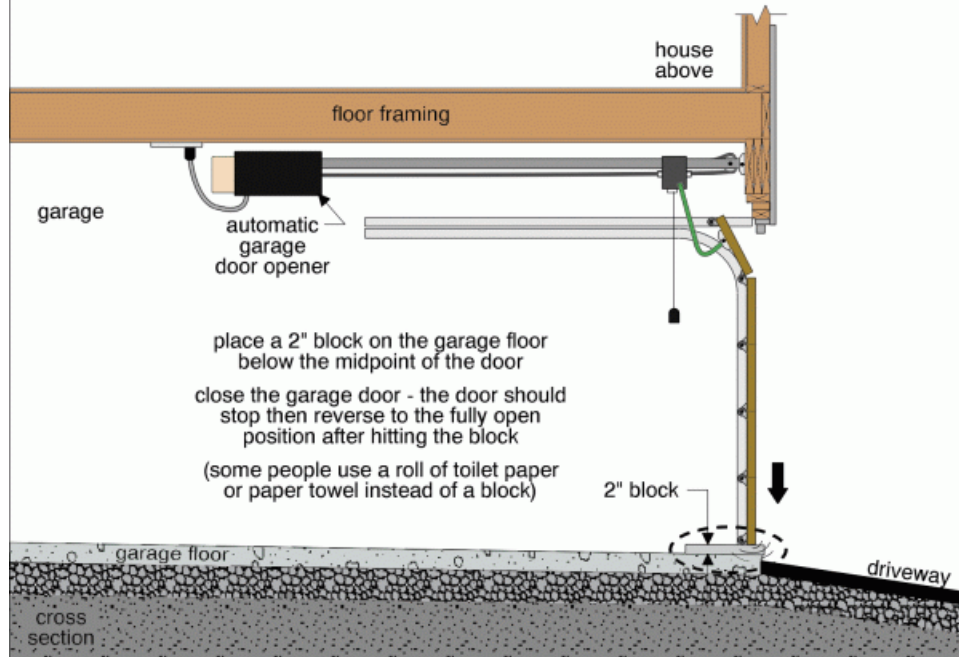
Implication(s): Physical injury

Location: Garage

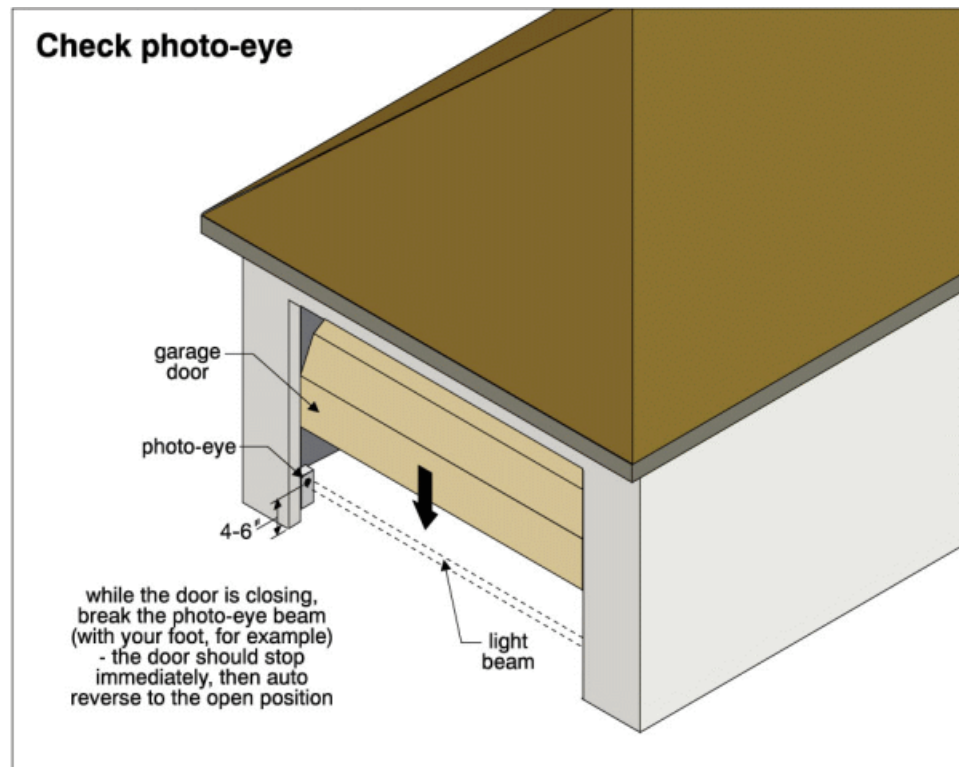
Task: Correct

Time: Immediate

## Testing automatic reverse



## Check photo-eye







27. Fails to auto reverse

## APPLIANCES \ Dryer

**15. Condition:** • Make sure to clean the dryer vent twice annually.  
Make sure to clean the dryer vent twice annually.

**Location:** Exterior Wall Laundry Area

**Task:** Clean

**Time:** Regular maintenance



28. Make sure to clean the dryer vent twice...

**END OF REPORT**



The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS